

NOTICE OF CONFIDENTIALITY RIGHTS: IF YOU ARE A NATURAL PERSON, YOU MAY REMOVE OR STRIKE ANY OR ALL OF THE FOLLOWING INFORMATION FROM ANY INSTRUMENT THAT TRANSFERS AN INTEREST IN REAL PROPERTY BEFORE IT IS FILED FOR RECORD IN THE PUBLIC RECORDS: YOUR SOCIAL SECURITY NUMBER OR YOUR DRIVER'S LICENSE NUMBER.

GENERAL WARRANTY DEED WITH VENDOR'S LIEN  
(WITH SUBORDINATE VENDOR'S LIEN)

THE STATE OF TEXAS )  
 ) Old Republic National Title Insurance Company  
 ) GF# 19006391  
COUNTY OF HARRIS ) KNOW ALL MEN BY THESE PRESENTS:

THAT HAMID SAMERI, hereinafter called "GRANTOR" (whether one or more), for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) cash and other good and valuable consideration to GRANTOR in hand paid by, CHAREE T. HARRISON, A MARRIED PERSON, whose mailing address is 4931 BRAESVALLEY DRIVE, HOUSTON, TX 77096, hereinafter called "GRANTEE" (whether one or more), the receipt and sufficiency of which are hereby acknowledged, and for the further consideration of the sum paid to GRANTOR by PLAZA HOME MORTGAGE, INC., hereinafter called FIRST-LIEN BENEFICIARY, at the special instance and request of GRANTEE, the receipt and sufficiency of which sum, being in the amount of Four Hundred Eighty-Four Thousand Three Hundred Fifty And No/100 Dollars (\$484,350.00), is hereby acknowledged and confessed; and as evidence of such advancement, GRANTEE has executed GRANTEE'S note of even date herewith for such amount payable to the order of FIRST-LIEN BENEFICIARY, said note payable as provided therein; and the payment of said note is secured by a vendor's lien reserved herein and is additionally secured by a deed of trust of even date with said note, executed by GRANTEE to BLACK, MANN & GRAHAM, L.L.P., TRUSTEE, reference to which deed of trust is hereby made for all purposes; and in consideration of the payment by FIRST-LIEN BENEFICIARY of the sum specified in said deed of trust, GRANTOR hereby transfers, sets over, assigns, and conveys unto FIRST-LIEN BENEFICIARY and its assigns a vendor's lien and superior title retained and reserved herein against the property and premises conveyed herein in the same manner and to the same extent as if said note had been executed in GRANTOR'S favor and assigned by GRANTOR to FIRST-LIEN BENEFICIARY without recourse; and GRANTOR has GRANTED, SOLD, and CONVEYED, and by these presents does GRANT, SELL, and CONVEY unto said GRANTEE, the following described property, to-wit:

LOT EIGHT (8), IN BLOCK THIRTY-SIX (36), OF MEYERLAND, SECTION FIVE (5), A SUBDIVISION IN HARRIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 54, PAGE 55, OF THE MAP RECORDS, OF HARRIS COUNTY, TEXAS.

RP-2019-423667

COPY UNOFFICIAL

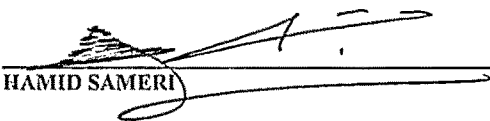
TO HAVE AND TO HOLD the above-described premises, together with, all and singular, the rights and appurtenances thereunto in anywise belonging unto said GRANTEE and GRANTEE'S heirs and assigns forever. GRANTOR does hereby bind GRANTOR and GRANTOR'S heirs, executors, and administrators to warrant and forever defend, all and singular, the said premises unto the said GRANTEE and GRANTEE'S heirs and assigns against every person whomsoever lawfully claiming or to claim the same or any part thereof.

Taxes of every nature for the current year have been prorated and are assumed by GRANTEE. This conveyance is made subject to, all and singular, the restrictions, mineral reservations, royalties, easements, and covenants, if any, applicable to and enforceable against the above-described property as reflected by the records of the County Clerk of the aforesaid County.

GRANTOR and GRANTEE also acknowledge the retention of a second, subordinate and separate vendor's lien, and GRANTOR hereby transfers the same to CERTIFIED FUNDING, L.P., hereinafter called "SECOND-LIEN BENEFICIARY", which lien secures GRANTEE'S certain other note of even date to SECOND-LIEN BENEFICIARY in the amount of Seventy-Three Thousand Six Hundred Fifty And No/100 Dollars (\$73,650.00), being further consideration paid to GRANTOR, as more particularly described in deed of trust of even date herewith to WILLIAM WOODALL, TRUSTEE. But it is expressly agreed and stipulated that the vendor's lien and superior title are retained in favor of the FIRST-LIEN BENEFICIARY and SECOND-LIEN BENEFICIARY, respectively, against the above described property, premises and improvements, until each of the above respective notes is fully paid according to its terms, when this deed shall become absolute.

When this deed is executed by more than one person, or when the GRANTOR or GRANTEE is more than one person, the instrument shall read as though pertinent verbs and pronouns were changed to correspond; and when executed by or to a corporation, the words "heirs, executors, and administrators" or "heirs and assigns" shall be construed to mean "successors and assigns."

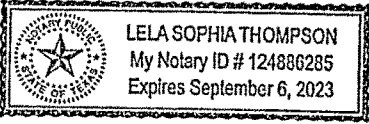
DATED the 23RD day of SEPTEMBER, 2019.

  
\_\_\_\_\_  
HAMID SAMERI

THE STATE OF TEXAS )  
COUNTY OF HARRIS )

(Acknowledgment)

This instrument was acknowledged before me on the 23 day of September 2019,  
by HAMID SAMERI.



[Signature] 9.6.23 My commission expires  
Notary Public, State of TEXAS  
Printed Name: \_\_\_\_\_

THE STATE OF TEXAS )  
COUNTY OF HARRIS )

(Acknowledgment)

This instrument was acknowledged before me on the \_\_\_\_\_ day of \_\_\_\_\_,  
by \_\_\_\_\_

My commission expires \_\_\_\_\_ Notary Public, State of \_\_\_\_\_  
Printed Name: \_\_\_\_\_

THE STATE OF TEXAS )  
COUNTY OF HARRIS )

(Acknowledgment)

This instrument was acknowledged before me on the \_\_\_\_\_ day of \_\_\_\_\_,  
by \_\_\_\_\_

My commission expires \_\_\_\_\_ Notary Public, State of \_\_\_\_\_  
Printed Name: \_\_\_\_\_

THE STATE OF TEXAS )  
COUNTY OF HARRIS )

(Acknowledgment)

This instrument was acknowledged before me on the \_\_\_\_\_ day of \_\_\_\_\_,  
by \_\_\_\_\_

My commission expires \_\_\_\_\_ Notary Public, State of \_\_\_\_\_  
Printed Name: \_\_\_\_\_

THE STATE OF TEXAS )  
COUNTY OF HARRIS )

(Corporate/Entity Acknowledgment)

This instrument was acknowledged before me on the \_\_\_\_\_ day of \_\_\_\_\_,  
by \_\_\_\_\_  
of a \_\_\_\_\_, on behalf of said \_\_\_\_\_

My commission expires \_\_\_\_\_ Notary Public, State of \_\_\_\_\_  
Printed Name: \_\_\_\_\_

AFTER RECORDING RETURN TO:  
CHAREE T. HARRISON  
4931 BRAESVALLEY DRIVE  
HOUSTON, TX 77096  
Re: 4931 BRAESVALLEY DRIVE, HOUSTON, TX 77096

RP-2019-423667

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RP-2019-423667  
# Pages 3  
09/25/2019 07:42 AM  
e-Filed & e-Recorded in the  
Official Public Records of  
HARRIS COUNTY  
DIANE TRAUTMAN  
COUNTY CLERK  
Fees \$20.00

RECORDERS MEMORANDUM

This instrument was received and recorded electronically and any blackouts, additions or changes were present at the time the instrument was filed and recorded.

Any provision herein which restricts the sale, rental, or use of the described real property because of color or race is invalid and unenforceable under federal law.

THE STATE OF TEXAS  
COUNTY OF HARRIS

I hereby certify that this instrument was FILED in File Number Sequence on the date and at the time stamped hereon by me; and was duly RECORDED in the Official Public Records of Real Property of Harris County, Texas.



*Diane Trautman*

COUNTY CLERK  
HARRIS COUNTY, TEXAS

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